

## ZONING OFFICE

Government Center  
555 – 18<sup>th</sup> Avenue Southwest  
Cambridge, MN 55008  
763-689-5165  
763-689-8319 fax  
www.co.isanti.mn.us



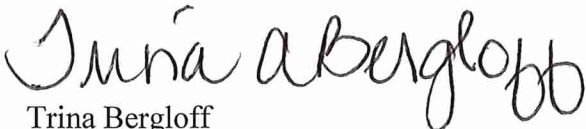
Trina Bergloff, Zoning Administrator/Solid Waste Officer  
Holly Nelson, Deputy Zoning Administrator  
Dennis Ginter, Building Official  
Terry Lakin, Septic Specialist  
Darrick Wotachek, Water Planner/Wetland Specialist  
Erica Wilson, Administrative Assistant/Permit Technician

### Notice of Public Hearing

February 17, 2022

The Isanti County Board of Adjustment will hold a public hearing on **Thursday March 10, 2022** at 9:00 a.m. at the Isanti County Government Center, 555 18<sup>th</sup> Avenue SW, Cambridge, MN 55008 to consider the following requests:

1. The request of Neil and Kay Fagerstrom, 630 Dellwood Street S, Cambridge, MN 55008 to construct a single family dwelling with an attached garage with less than the required setback to the ordinary high watermark of the lake, with less than the required setback to the road right of way of a township road and to install a septic system with less than the required setback to the single family dwelling, with less than the required setback to the attached garage, with less than the required setback to the side property line and with less than the required setback from the road right of way of a township road on an undersized lot. Legal description is Lots 12 & 13 Edgewater Shores of Section 9, Township 35, Range 23, Isanti Township.
2. The request of Sandra Grunewald, 7296 Green lake Shore Drive, Princeton, MN 55371 (Property address: 7304 Green lake Shore Drive, Princeton, MN 55371) to construct a roofed entry with less than the required setback to the road right of way of a private road easement. Legal description is Lot 5 Green Lake Park of Section 28, Township 36, Range 25, Wyanett Township.
3. The request of James Johnson, 1851 389<sup>th</sup> Avenue NW, Stanchfield, MN 55080 to construct an addition with less than the required setback from the centerline of County Road. Legal description is Pt. SW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$  of Section 22, Township 37, Range 24, Maple Ridge Township.
4. The request of Brandy and Eric Scobee, 35433 Helium Street NW, Princeton, MN 55371 to vary the Isanti Zoning Ordinance, Section 6, Subdivision 4 of the Isanti County Zoning Ordinance requiring any kennel facility to be 1,000' from any residential house and a minimum of  $\frac{1}{2}$  mile from 10 or more homes or platted lots and to vary each adult animal shall be provided with a minimum fenced closure equal to 36 square feet per animal. Legal description the N  $\frac{1}{2}$  of the SW  $\frac{1}{4}$  of Section 13, Township 36, Range 25, Wyanett Township.



Trina Bergloff  
Isanti County Zoning Administrator

*This further serves as notice that if the legal criteria are met for members to participate in the meeting by telephone or interactive technology, some members may do so.*

*If you would like to attend this meeting via Tele – Conference, please go to the Isanti County webpage at [www.co.isanti.mn.us](http://www.co.isanti.mn.us) for instructions.*