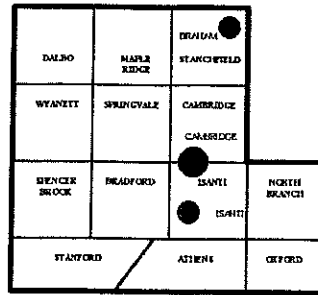


ZONING OFFICE
Government Center
555 - 18 Avenue Southwest
Cambridge, MN 55008
763-689-5165
763-689-8319 fax
www.co.isanti.mn.us

ISANTI COUNTY



Tim Anderson, Zoning Administrator/ SolidWasteOfficer/ Building Official
Trina Wing, Deputy Zoning Administrator
Terry Lakin, Building Technician II
Holly Nelson, Compliance Technician

HOME ADDITIONS

Permit may take up to 10 working days to process

Permit requirements:

Building permits are required for construction of all home additions. A site plan shall show the distances to property lines, buildings on the same property, septic systems, wetlands, rivers, lakes, and any easement on the property. All additions must meet land use requirements of the zoning ordinance. If the property is located in the Shoreland district (i.e. within 1000 feet of a lake, 700 feet of the Rum River, or 300 feet of a creek or stream) a certificate of compliance will be required on the existing septic system. If the existing system is found to be in noncompliance, you will be required to install a new conforming system (Isanti County Zoning Ordinance, Section 23, and Subdivision 5).

Permit Fees:

The building permit fee is based on the projects construction cost and is designed to cover the cost of the plan review and the field inspections during construction. The plan review is done to spot potential problems that may arise. The inspector will make notes on the plans for your use. Project inspections will be done during construction to insure code compliance. Approximate permit costs may be obtained by calling the Isanti County Zoning Office at (763) 689-5165.

Required Information:

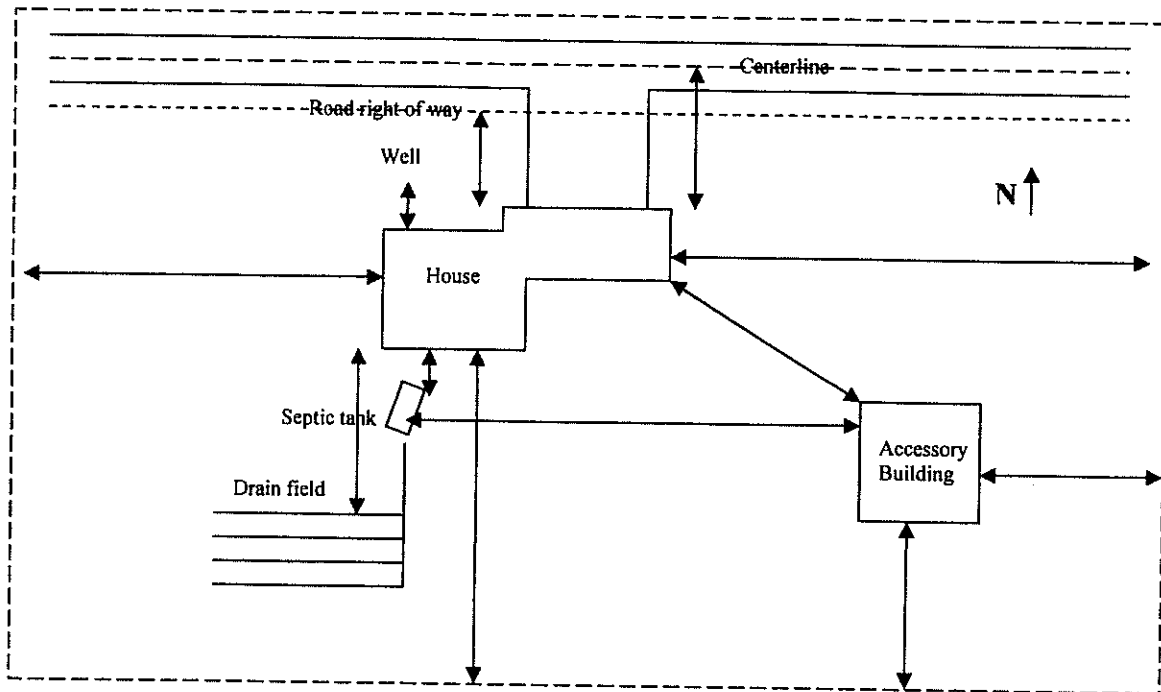
Information necessary for the Inspection Department to do a proper job of plan review and to help the project go smoothly are as follows;

1. Completed permit application
2. Survey or site plan
3. Floor plan to include all levels
4. Wall section showing from footings to the roof
5. Elevations
6. Energy calculations if required
7. The more information provided on the plans the more likely your project will be successful

Certificate of Survey or Site Plan:

Submit a copy of the certificate of survey if one was conducted or site plan drawn to scale indicating the lot dimensions, the location and size of the existing structure (s), and the location and size of the proposed structure. Indicate the setbacks from property lines of the existing and proposed structures, septic tanks, drain field, well, and any private easements on the property.

SAMPLE SITE PLAN "FOR ILLUSTRATIVE PURPOSES ONLY"



Minimum plan details necessary for a proper plan review:

The following text and sample drawings show the minimum detail expected so the permit process can proceed smoothly. Plans do not need to be professionally drawn but should include all of the information requested. The application for permit can be filled out at the time you drop off your plans and other required information.

Floor Plan Design:

All drawings need to be drawn to scale and the scale should be shown on the drawing.

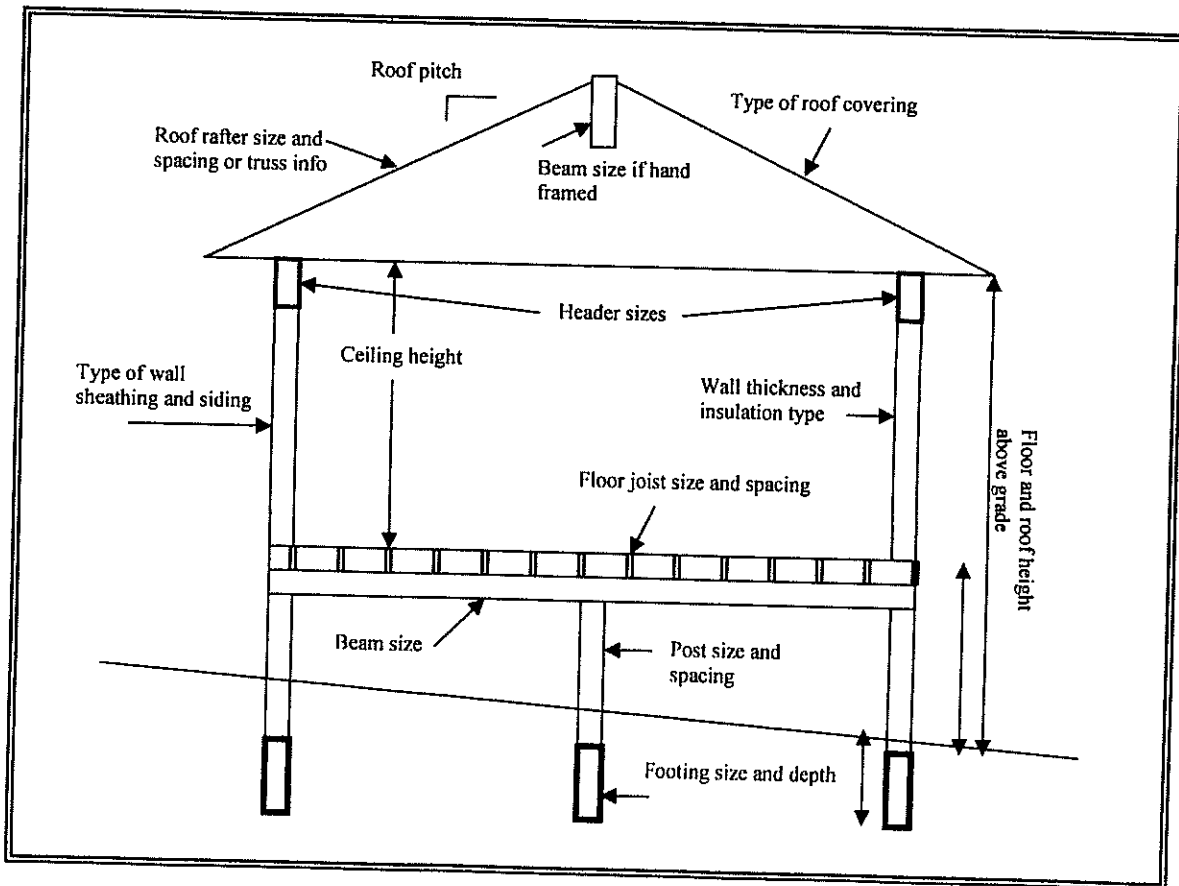
Floor plans should include the following:

1. Proposed dimensions of the addition
2. Proposed dimensions of all rooms and locations
3. Location and size of window openings
4. Size of headers over all door and window openings
5. Size, spacing and direction of floor and roof trusses
6. Size, spacing and location of support posts
7. Type (grade and specie) of lumber to be used

Cross Section showing design characteristics

Addition cutaway section to show;

1. Height of structure to grade
2. Size and depth of footings and/or foundation
3. Support post and beam sizes
4. Floor joist sizes and spacing
5. Flooring material
6. Ceiling height
7. Type wall sheathing and siding
8. Header sizes, window sizes, screened opening dimensions
9. Size and spacing of rafters or roof trusses
10. Type of roof underlayment and covering
11. Roof pitch



Required Inspections:

1. Footings: After excavation, placement of forms and installation of reinforcement, but prior to placement of concrete.
2. Framing: To be made after all the framing, fire blocking and bracing are in place, all pipes, chimneys and vents are complete, rough in electrical inspection has been made by the State inspector.
3. Insulation: To be made after all insulation material including the vapor barrier is in place.
4. Final: To be made after the final electrical inspection has been approved and the building has been completed, including the final grading.
5. In addition to the inspections listed above, the building inspector may make or require other re-inspections of any construction work to ascertain code compliance.

Wall Section showing building components from footings up thru to the roof

